

GENERAL CONSTRUCTION NOTES:

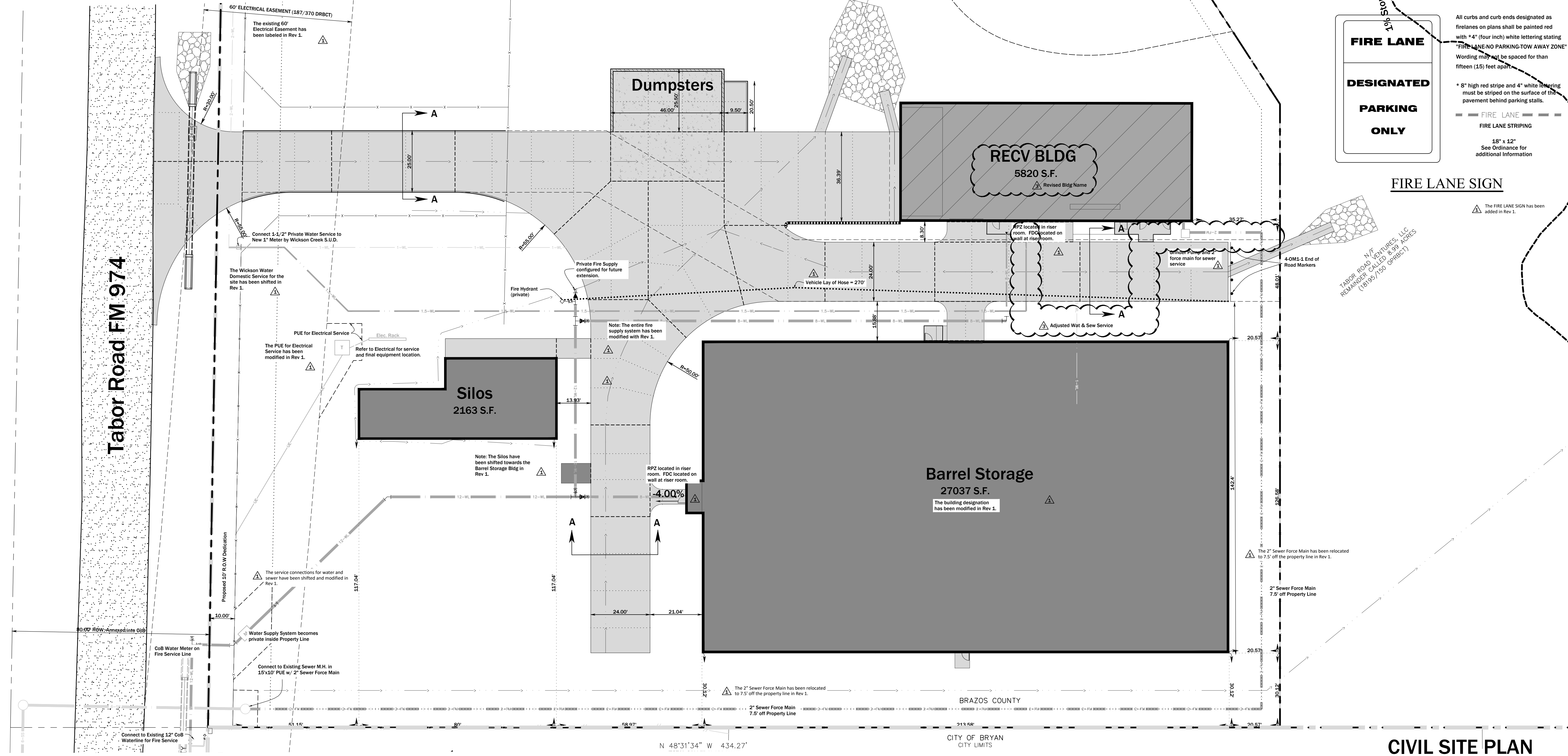
- It shall be the responsibility of the Contractor to verify the exact location of ALL existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
- Contact Dig Tess @ 1-800-344-8377
 - Contact Dan Augsburger @ Suddenlink 979-846-2229
 - Contact Leslie Carroll @ Frontier 979-821-4752
 - Contact Brandon Charanza @ BTU (Electrical) 979-821-5784
 - Contact Jayson Barfknecht @ Public Works (Water/Wastewater) 979-209-5900
 - Contact Korey Lemond @ Atmos Gas (Gas) 888-286-6700
- All construction shall be in accordance with the current City of Bryan (COB) Standard Specifications for Street Construction, B/CS Unified Technical Specifications, Water and Sewer and Generals, 2020, and BCS Unified Design Details. All inspection shall be performed by the staff of the City Engineer of COB. All construction shall be coordinated with the City of Bryan City Engineer.
- The domestic water supply line shall be constructed in accordance with the Wickson Creek Special Utility District requirements.
- In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Engineer for any substitution prior to construction. Requests for changes should include product information and an engineers seal where applicable. The contractor shall be financially responsible for the engineer's time spent reviewing changes and redesigning based on contractors requests.
- Trench Safety Requirements shall be in accordance with O.S.H.A. Standard 29 CFR Part 1926 Subpart P and all federal, state and local regulations.
- TRENCHING AND BACKFILLING:** All trenching and backfilling shall conform to the specifications set out herein. Testing shall be provided by a certified laboratory, at the Owner's expense, to verify these standards. Any retesting due to substandard work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and shall extend 5' beyond the curb lines of all streets, alleys and parking areas.
- It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with BTU, as applicable.
- All materials & labor not identified as a Separate Bid Item shall be considered subsidiary to the item in which it is used. All materials and equipment shall be both furnished and installed unless otherwise noted.
- The Contractor must provide construction staking from the information provide on these plans. The contractor shall be provided with a CAD C3D file and CAD surface for the benefit of construction. The contractor shall CONFIRM all dimensions prior to construction.
- All soil exposed by construction shall receive cellulose fibermulch seeding unless otherwise noted. Contractor shall submit to City of Bryan Parks Department seed mix specification and have approval of desired seed mix prior to ordering fibermulch seeding.
- Trenches may be left open overnight if properly barricaded.
- Adjustment of Water Meters, Valves, Manholes, Irrigation Systems, and any other Public or Private Utility, etc. will be paid for as a separate pay item, provided they are necessary and are not a part of the new line construction. In the case they are part of the new line construction, the price of the adjustment shall be subsidiary to the construction of Sewer Line, Force Main, etc.
- The contractor shall coordinate with Suddenlink Communications, BTU, City of Bryan, Atmos, and Frontier to adjust the location of existing facilities, if necessary.
- The contractor is responsible for traffic control.
- Temporary spoil areas will be identified on site by owner.
- All dimensions are to the back of curb unless otherwise noted.
- 100% coverage of groundcover or a perennial grass is required in swales, drainage areas, rights-of-way, and adjacent property disturbed during construction.
- The private property owner shall have direct responsibility to operate, repair, and maintain all private drainage easements, and private stormwater detention facilities which are part of this subdivision. The City of Bryan shall not be responsible for any operation, repair and maintenance of these areas.

SITE PLAN NOTES:

- Name of Project: HUSH & WHISPER BARREL STORAGE
Legal: Lot 1, Block 1, Hush & Whisper Barrel Storage
Address: 2898 FM 974, Bryan, TX, 77808
- Owner's Contact Information
Name: Chuck Sesock, Project Manager
Company: Tabor Road Ventures
Address: 110 North Main, Bryan, Texas 77803
Phone: (979)229-7313
- Engineer: Mitchell & Morgan, L.L.P.
3204 Earl Rudder Fwy. S.
College Station, Texas 77845
(979) 260-6963
- Zoning: See Architectural Site Plan
- Existing Use: See Architectural Site Plan
- Proposed Use: See Architectural Site Plan
- Setbacks: Per City of Bryan Ordinances
- Overall Site Area: 4.020 acres.
- Domestic Water Demands:
Total Fixture Units = 5
Avg. Water Demand = 1 gpm.
Peak Water Demand = 5 gpm
- Fire Flow Water Demands:
Computed Sprinkler plus hydrant flow=1900 gpm
- Sanitary Demands:
Total Fixture Units = 5
Avg. Sewer Demand = 1 gpm.
Peak Sewer Demand = 5 gpm
- Curbs are only as shown on the site plan.
- The subject tract does not lie within the 100 year floodplain according to the F.E.M.A. Flood Insurance Rate Maps for Brazos County, Texas and incorporated areas. Community No. 480083, Panel No. 0205F, Map No. 48041C0205F. Effective Date: April 2, 2014. The tributary on the remainder tract (called Wickson Creek Tributary 21.3.9 on the FIRMs) has an average depth of >12" and will require mapping in order to develop the remainder tract.
- Site Signage shall be permitted separately.
- Building shall be one story tall.
- Fire Flow Information: See Architectural Site Plan

PARKING DATA:

PARKING SPACES REQUIRED/PROVIDED: 1/Employee present = 1 SPACE
No Handicap spaces
The SITE PLAN NOTES & PARKING DATA has been added in Rev 1.



All curbs and curb ends designated as firelanes on plans shall be painted red with "4" (four inch) white lettering stating "FIRE LANE NO PARKING-TOW AWAY ZONE". Wording may not be spaced for than fifteen (15) feet apart.

* 8" high red stripe and 4" white lettering must be striped on the surface of the pavement behind parking stalls.

--- FIRE LANE
FIRE LANE STRIPING

18" x 12"
See Ordinances for additional information

FIRE LANE SIGN

The FIRE LANE SIGN has been added in Rev 1.

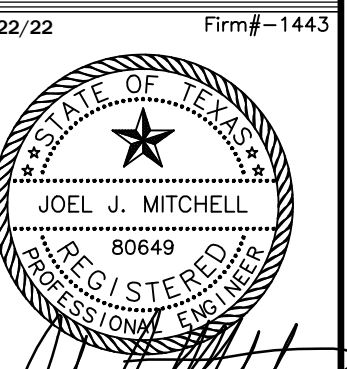


The Arkitex Studio, Inc.

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MITCHELL & MORGAN

MITCHELL & MORGAN
3204 EARL RUDDER FWY S.
COLLEGE STATION, TX 77845
T.979.260.6963



12/22/22 Firm # 1443

New Buildings for
Hush & Whisper Barrel Storage
2898 FM 974, Bryan, Texas 77808

Revisions	
Number	Date
1	1/30/23
2	2/10/23
3	2/27/23

Project 22009
January, 2023

C1.0

CIVIL SITE PLAN



The
Arkitek
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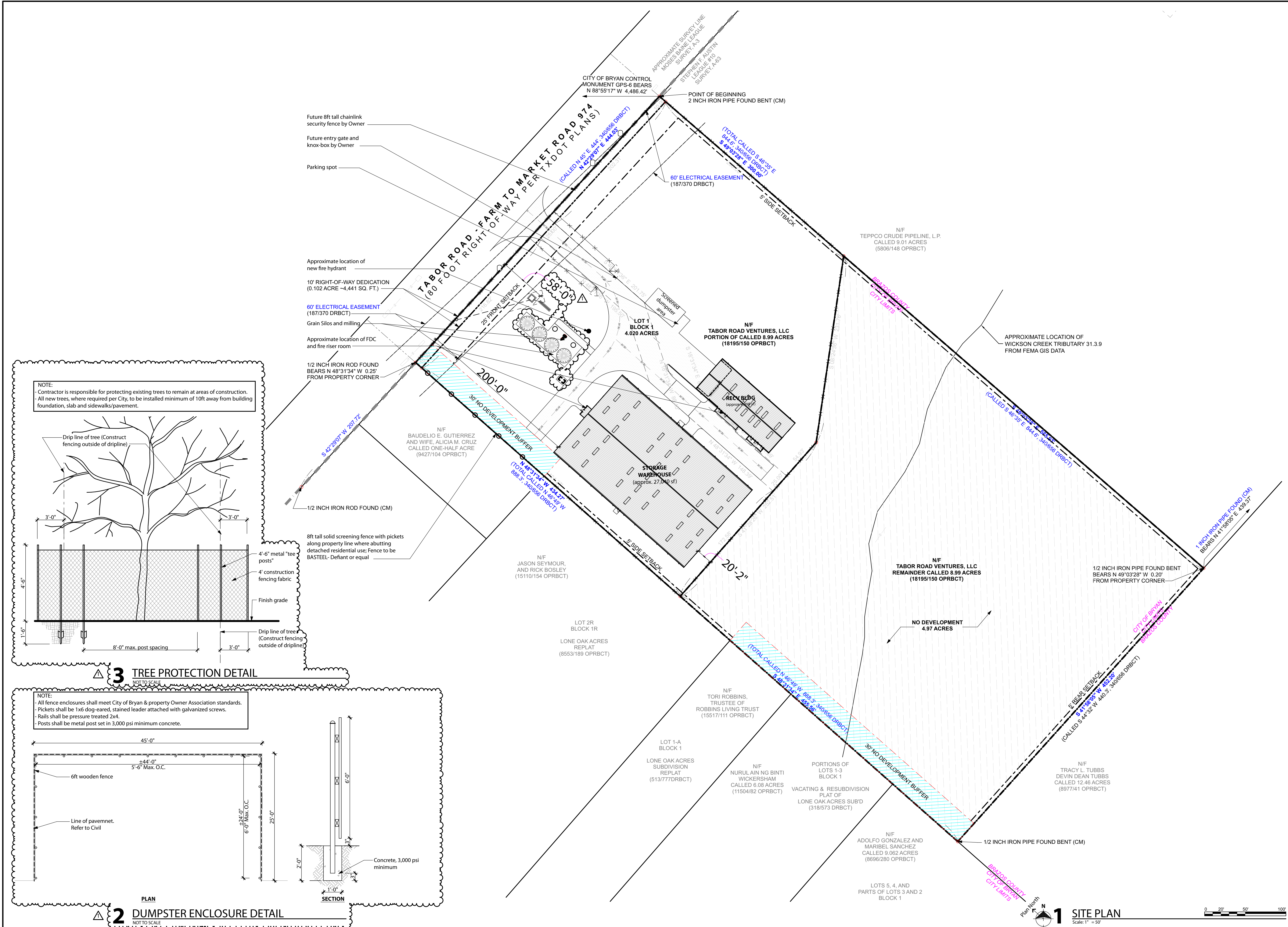
12/22/22

New Buildings for
Hush & Whisper Barrel Storage
2898 FM 974, Bryan, Texas 77808

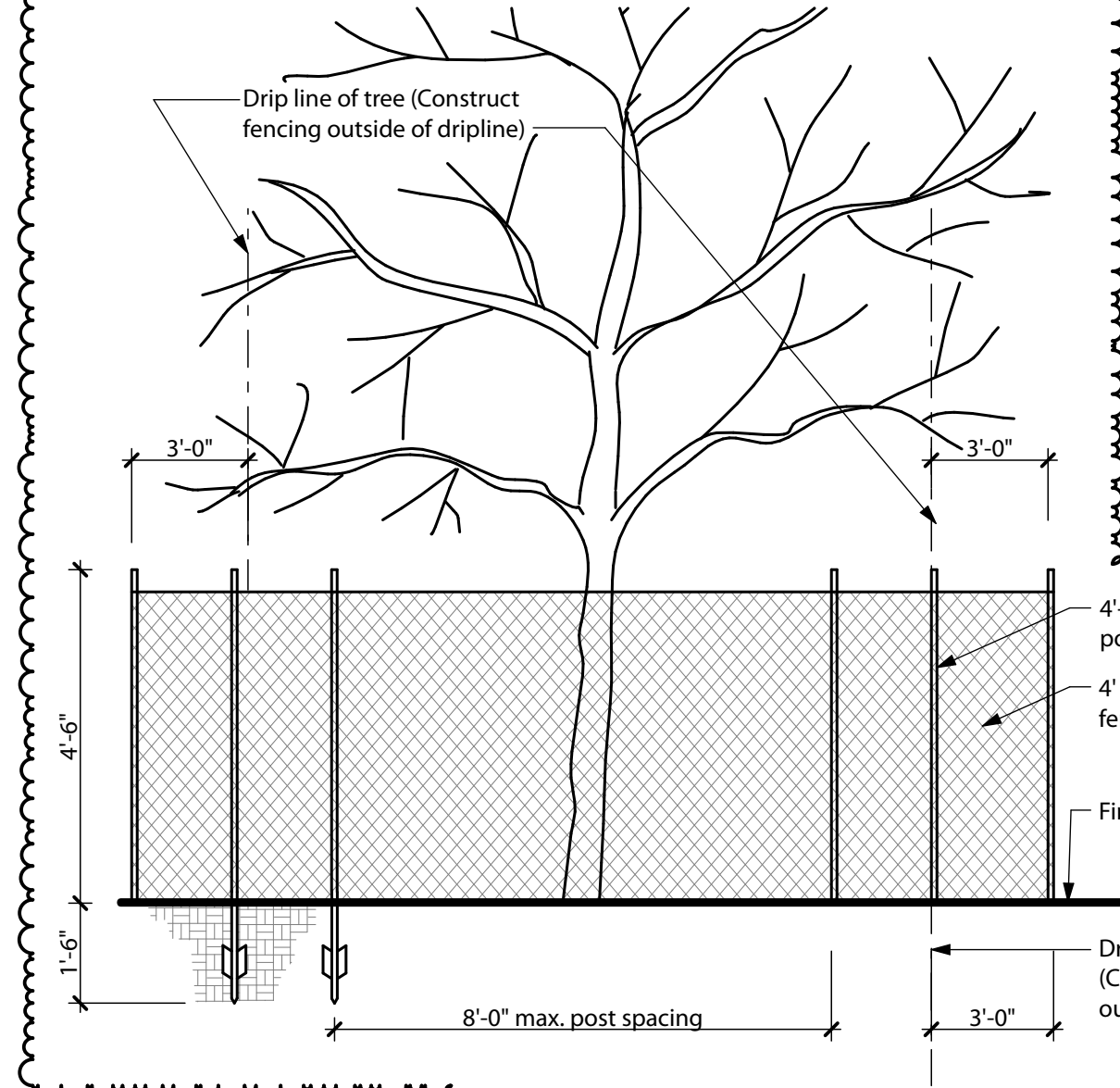
Revisions	
Number	Date
1	1/30/23

Project 22009
12/22/22
SITE PLAN

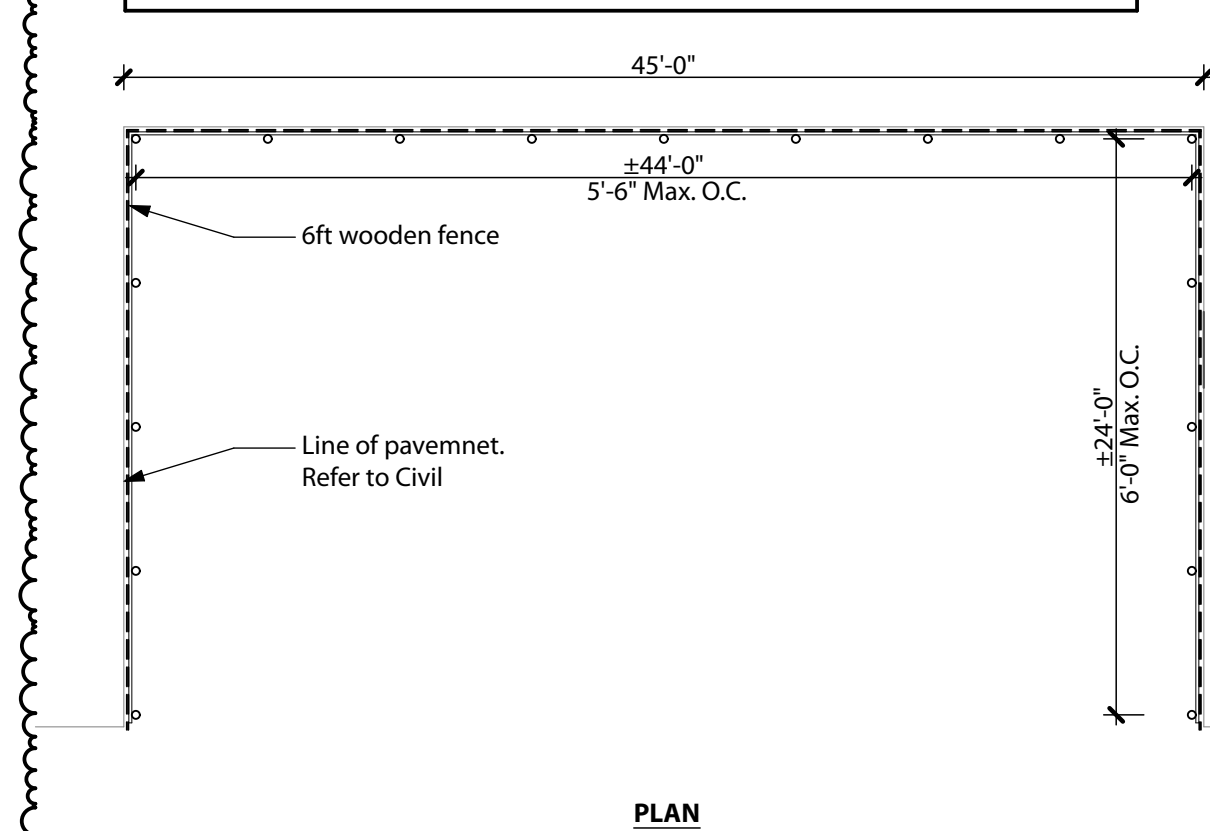
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NOTE:
Contractor is responsible for protecting existing trees to remain at areas of construction.
All new trees, where required per City, to be installed minimum of 10ft away from building foundation, slab and sidewalks/pavement.



NOTE:
All fence enclosures shall meet City of Bryan & property Owner Association standards.
Pickets shall be 1x6 dog-eared, stained leader attached with galvanized screws.
Rails shall be pressure treated 2x4.
Posts shall be metal post set in 3,000 psi minimum concrete.



1 SITE PLAN
Scale: 1" = 50'
0 20' 50' 100'